



G-44(M) Update:

Tactical Supply Support Activity (SSA) Facility

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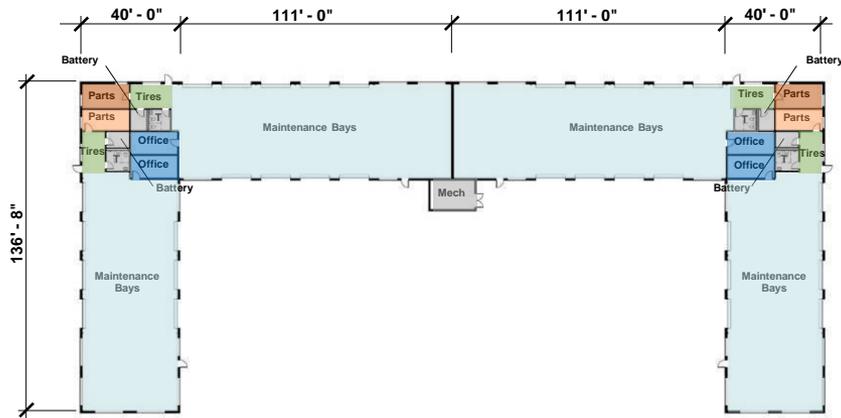




Facility Reuse Analysis

TEMF 5: U-Shaped

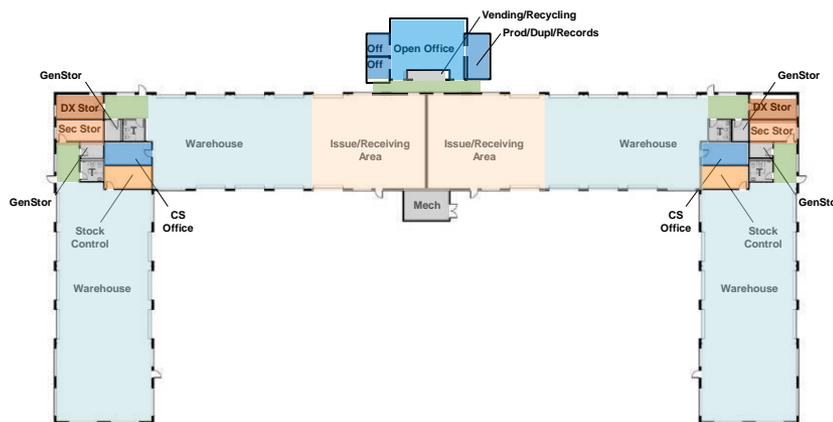
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TEMF 5 – Existing Floor Plan

Planning Alternative C1 – Tier 1

- Construct New Addition to house Administrative Offices, Open Office Area, and Vending/Recycling.
- Utilize existing offices to provide Contactor Logistic Support (CLS) Offices and Stock Control Rooms.
- Utilize existing Maintenance Bays for Issue/Receiving Areas and Warehousing.
- Convert Parts Storage Rooms to DX (Exchange) Storage and Secure (Non-Sensitive) Storage.
- Convert Battery Storage Room to General Storage. Tire Storage Areas to become circulation.
- Utilize existing Mechanical and Toilet Rooms.



Tactical SSA – Conceptual Floor Plan Tier 1

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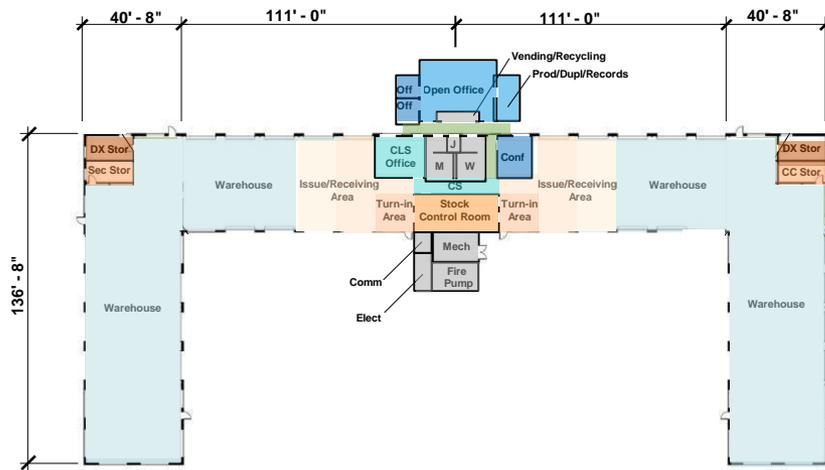




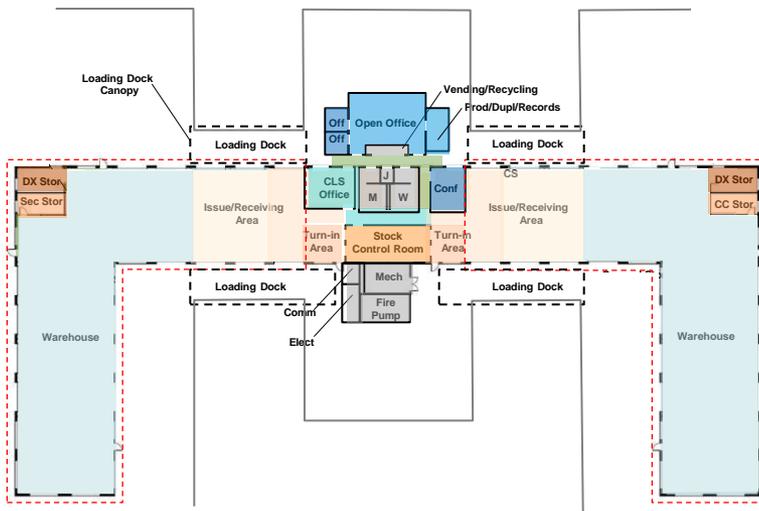
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Tactical SSA – Conceptual Floor Plan Tier 2



Tactical SSA – Conceptual Floor Plan Tier 3

Planning Alternative C1 – Tier 2

- Construct New Contractor Logistic Support (CLS) Offices, Conference Room, Men's and Women's Toilet Rooms and Janitor's Closet.
- Construct new Stock Control Room and Customer Service Area.
- Construct new Electrical, Fire Pump and Communication Rooms. Install new HVAC Unit in existing Mechanical Room.
- Demolish Tier 1 CLS Offices, Toilet Rooms and General Storage Rooms and convert to Warehousing. Continue to utilize existing Parts Storage for DX, CC, and Secure (Non-sensitive Storage).

Planning Alternative C1 – Tier 3

- Construct new Loading Docks with Apron Canopies and Dock Lift/Levelers.
- Fully renovate warehouse space including DX, CC and Secure (Non-Sensitive) Storage to provide enhanced warehouse capabilities.

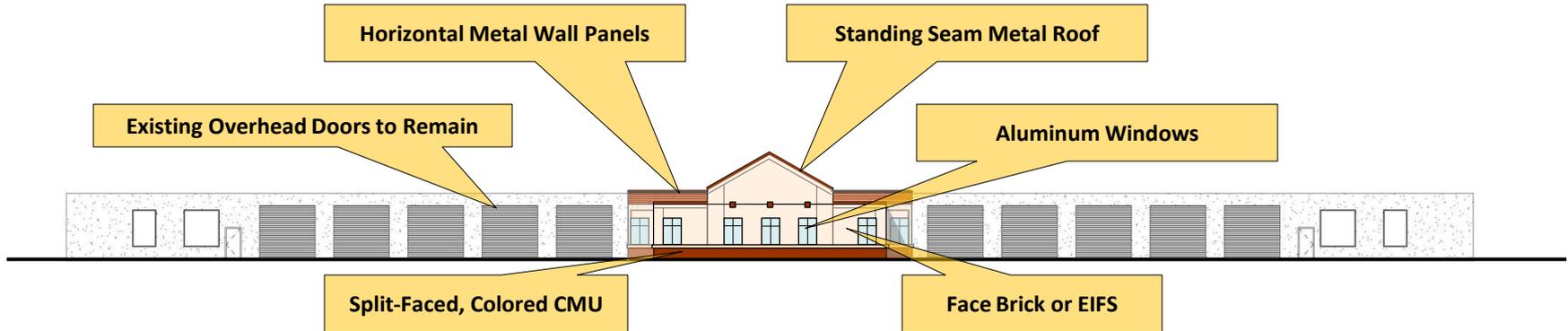


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Facility Reuse Analysis

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Main Building Elevation – Tier 1 and 2

No Scale



Main Building Elevation – Tier 3

No Scale

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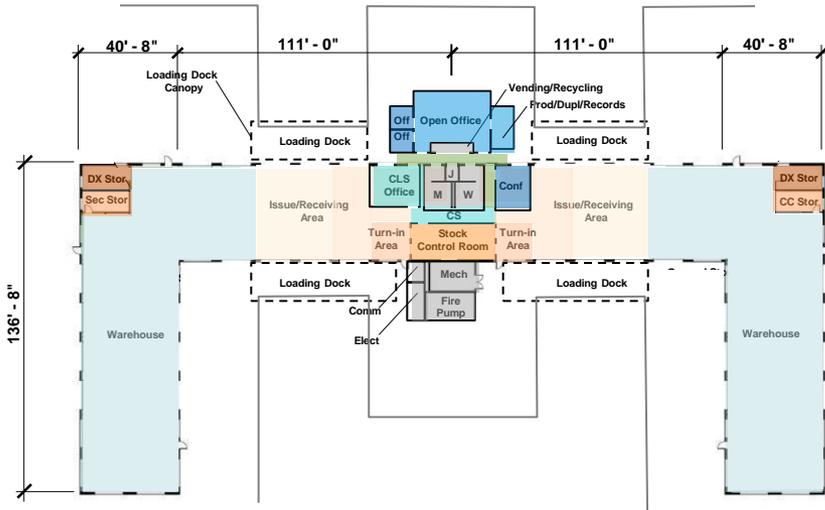




Facility Reuse Analysis

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Tactical SSA – Conceptual Floor Plan

Legend:

- Circulation
- Warehouse
- Administration (Open Office/Production/Dupl)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Non-Sensitive) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mechanical, Fire Pump, Electrical, Communications, Vending/Recycling)

Planning Alternative C1

Comparative Space Program Analysis

Description	Standard Net Area	Concept Net Area	Net Deficiency
Administrative Operations			
Administration	2,120	1,920	(200)
Contractor Logistic Support	720	580	(140)
Subtotal:	2,840	2,500	(340)
Warehouse Operations			
Receiving/Issue Areas	4,400	4,400	0
Warehouse Storage Areas	11,840	12,020	180
Subtotal:	16,240	16,420	180
Building Service Areas			
Public/Commons Areas	620	540	(80)
Building Support	640	620	(20)
Subtotal:	1,260	1,160	(100)
Subtotal (Net Area):	20,340	20,080	(260)
Circulation, Walls, Partitions:	3,060	3,020	(40)
Total (Gross Area):	23,400	23,100	(300)

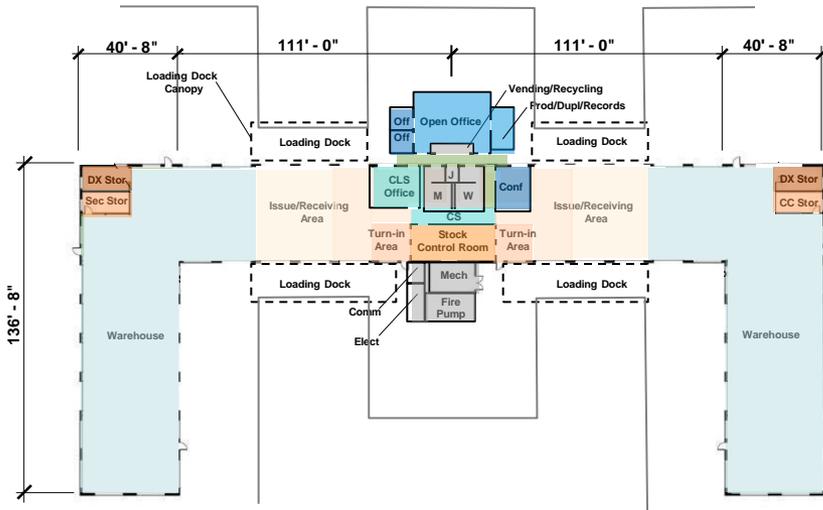
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Facility Reuse Analysis

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Planning Alternative C1

Preliminary Project Budget (ROM) Estimate

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