



# G-44(M) Update:

## Tactical Supply Support Activity (SSA) Facility

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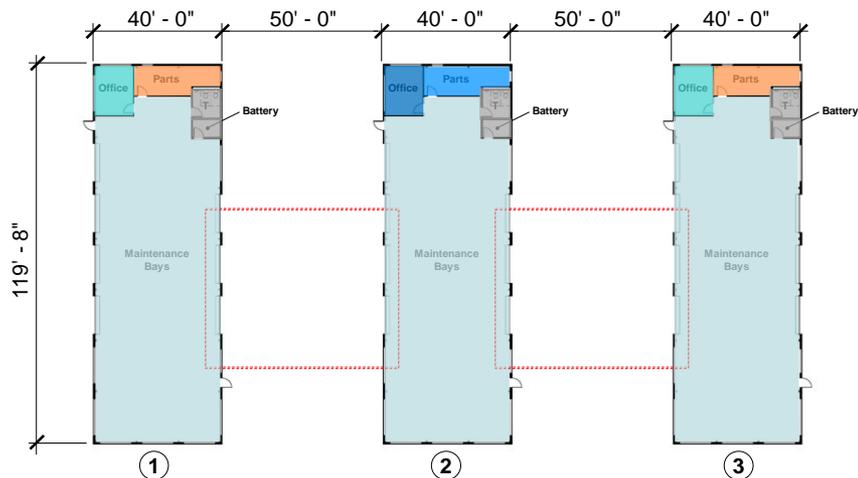




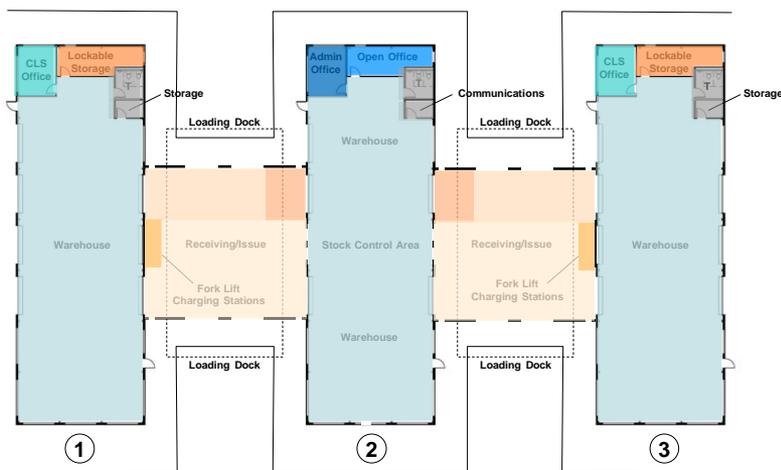
# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



TEMF 3 – Existing Floor Plan



Tactical SSA – Conceptual Floor Plan Tier 1

## Planning Alternative A1 – Tier 1

- Construct new Receiving/Issue Bays w/Dock Canopy between existing TEMF Buildings.
- Utilize the existing Maintenance Bays in Buildings 1, 2, and 3 for Warehousing.
- Utilize the existing Office and Parts Storage in Building 2 for Warehouse Administrative Offices.
- Occupy the existing Office in Buildings 1 and 3 for Contractor Logistic Support (CLS) Office.
- Utilize existing Parts Storage for Secure (Lockable) Storage in Buildings 1 and 3.
- Convert existing Battery Storage Room to General Storage in Buildings 1 and 3; and, Communications Room in Building 2. Existing Toilets to remain.

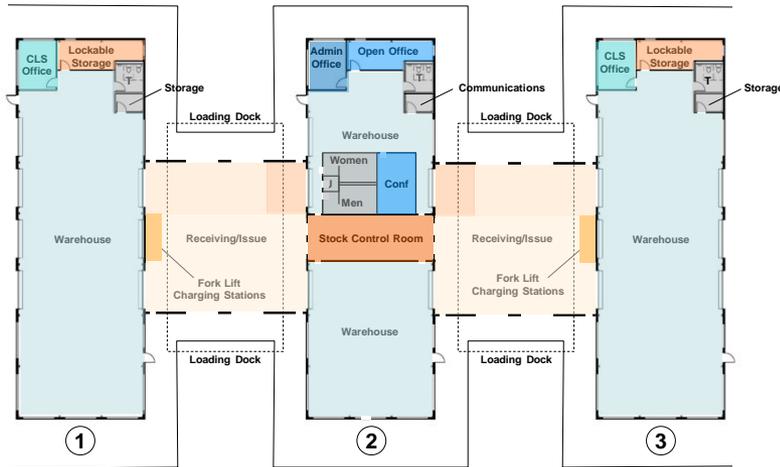




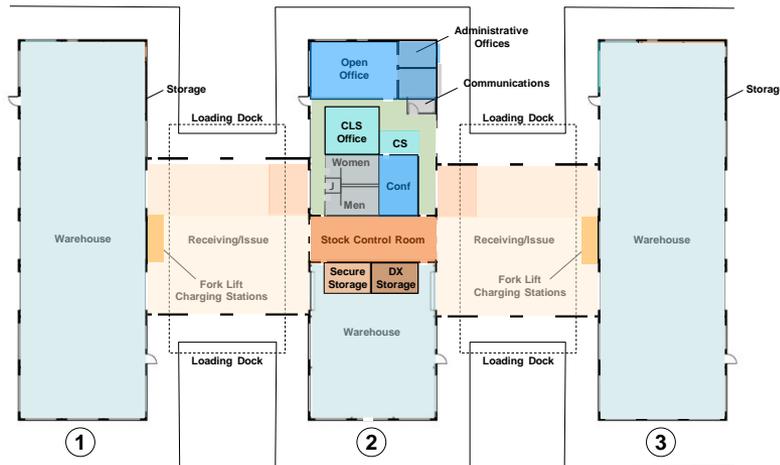
# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



Tactical SSA – Conceptual Floor Plan Tier 2



Tactical SSA – Conceptual Floor Plan Tier 3

## Planning Alternative A1 – Tier 2

- Construct new Stock Control Room in existing Maintenance Bay, Building 2.
- Construct new Conference Room and new Men's and Women's Toilet Rooms in existing Maintenance Bay, Building 2.

## Planning Alternative A1 – Tier 3

- Demolish Tier 1 Administrative Offices and Toilet Room in Building 2. Construct new expanded Administrative Offices, Contactor Logistic Support Office, and Customer Service Area in Building 2.
- Construct new Secure (Lockable) Storage and DX (Exchange) Storage Rooms in existing Warehouse Building 2.
- Demolish Tier 1 CLS Office, Secure (Lockable) Storage, Toilet and General Storage Rooms in Warehouse Buildings 1 and 3. Fully renovate warehouse space in Buildings 1, 2 and 3 to provide enhanced warehouse capabilities.

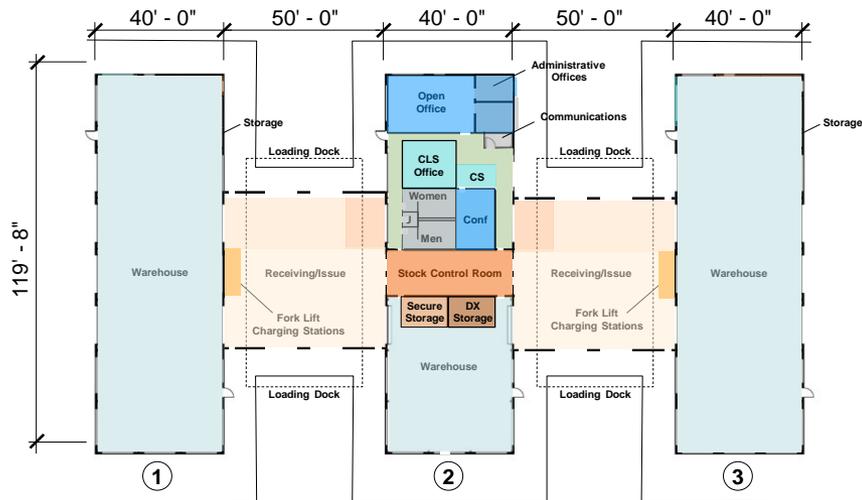




# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



**Tactical SSA – Conceptual Floor Plan**

**Legend:**

- Circulation
- Warehouse
- Administration (Open Office Area)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Lockable) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mech, Fire Pump, Electrical, Communications, Vending/Recycling)

## Planning Alternative A1

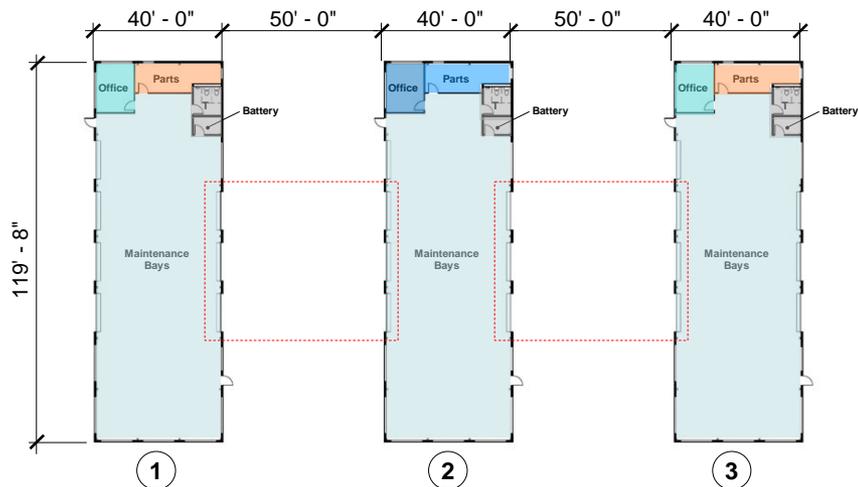
Description	Standard Net Area	Concept Net Area	Net Deficiency
<b>Administrative Operations</b>			
Administration	2,120	1,680	(440)
Contractor Logistic Support	730	600	(130)
<b>Subtotal:</b>	<b>2,850</b>	<b>2,280</b>	<b>(570)</b>
<b>Warehouse Operations</b>			
Receiving/Issue Areas	4,440	3,780	(660)
Warehouse Storage Areas	11,800	9,600	(2,200)
<b>Subtotal:</b>	<b>16,240</b>	<b>13,380</b>	<b>(2,860)</b>
<b>Building Service Areas</b>			
Public/Commons Areas	660	620	(40)
Building Support	640	600	(40)
<b>Subtotal:</b>	<b>1,300</b>	<b>1,220</b>	<b>(80)</b>
<b>Subtotal (Net Area):</b>	<b>20,390</b>	<b>16,880</b>	<b>(3,510)</b>
Circulation, Walls, Partitions:	3,060	2,540	(520)
<b>Total (Gross Area):</b>	<b>23,450</b>	<b>19,420</b>	<b>(4,030)</b>



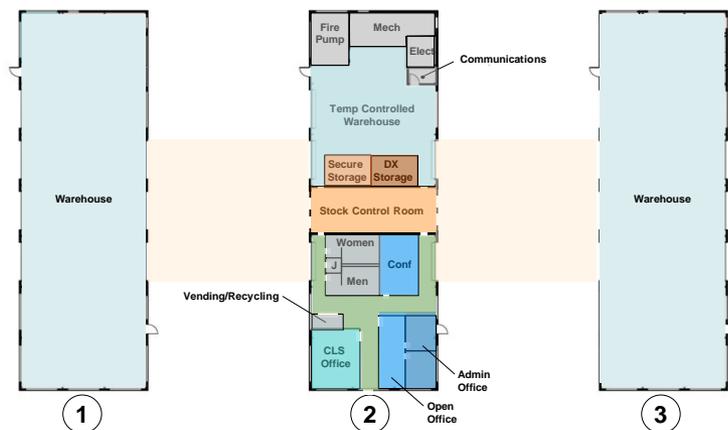
# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



TEMF 3 – Existing Floor Plan



Tactical SSA – Conceptual Floor Plan Tier 1

## Planning Alternative A2 – Tier 1

### Building 2: Full Renovation

- Construct new Administrative space including Administration and Contractor Logistic Support Offices, and Conference Room . Utilize area between buildings as Receiving Issue Area.
- Construct new Men's and Women's Toilet Rooms, Vending and Recycling Areas.
- Construct new Stock Control Room, Secure (Lockable) Storage, and DX Storage.
- Convert existing Office, Toilet Room, and Parts to new Fire Pump, Mechanical, and Electrical Rooms. Convert existing Battery Room to new Communications Room.
- Utilize existing Maintenance Bays in Buildings 1 and 3 for Warehousing. Convert remaining Maintenance Bay space to Temp Controlled Warehousing.



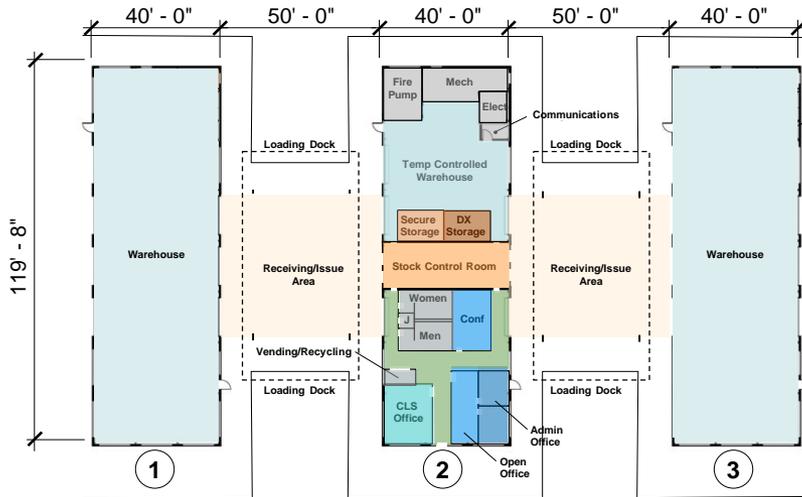


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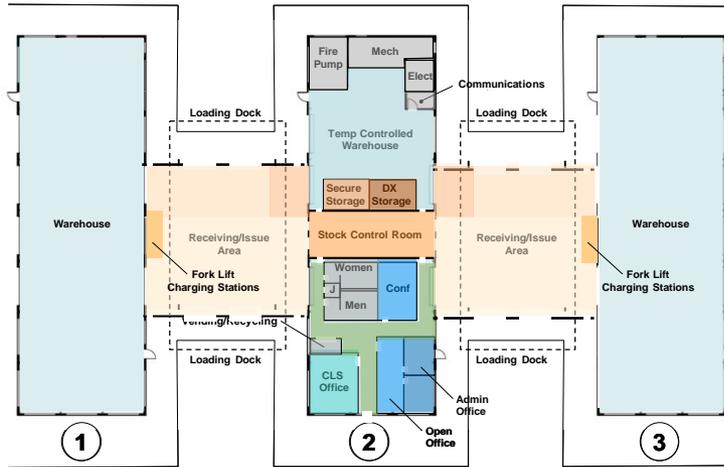
# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



Tactical SSA – Conceptual Floor Plan Tier 2



Tactical SSA – Conceptual Floor Plan Tier 3

## Planning Alternative A2 – Tier 2

- Demolish existing concrete access drives, site circulation, and sidewalks. Construct new Loading Docks between Warehouse buildings.
- Construct new Canopies over Receiving/Issue Areas between Warehouse buildings.

## Planning Alternative A2 – Tier 3

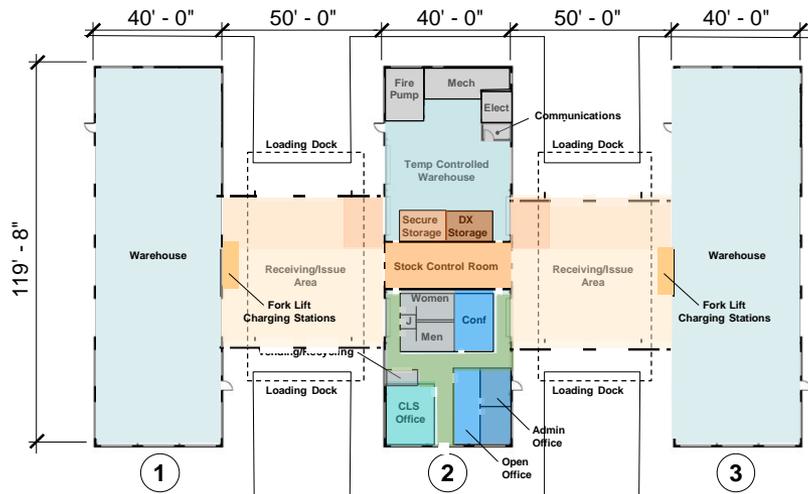
- Construct new Exterior Walls to enclose Receiving/Issue Areas between Warehouse buildings.
- Provide Fork Lift Charging Stations (if required).



# Facility Reuse Analysis

TEMF 3: Rectangular

Fort Bragg, NC



**Tactical SSA – Conceptual Floor Plan**

## Legend:

- Circulation
- Warehouse
- Administration (Open Office Area)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Lockable) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mech, Fire Pump, Electrical, Communications, Vending/Recycling)

## Planning Alternative A2

Description	Standard Net Area	Concept Net Area	Net Deficiency
<b>Administrative Operations</b>			
Administration	2,120	1,680	(440)
Contractor Logistic Support	730	600	(130)
<b>Subtotal:</b>	<b>2,850</b>	<b>2,280</b>	<b>(570)</b>
<b>Warehouse Operations</b>			
Receiving/Issue Areas	4,440	3,780	(660)
Warehouse Storage Areas	11,800	9,600	(2,200)
<b>Subtotal:</b>	<b>16,240</b>	<b>13,380</b>	<b>(2,860)</b>
<b>Building Service Areas</b>			
Public/Commons Areas	660	620	(40)
Building Support	640	600	(40)
<b>Subtotal:</b>	<b>1,300</b>	<b>1,220</b>	<b>(80)</b>
<b>Subtotal (Net Area):</b>	<b>20,390</b>	<b>16,880</b>	<b>(3,510)</b>
Circulation, Walls, Partitions:	3,060	2,540	(520)
<b>Total (Gross Area):</b>	<b>23,450</b>	<b>19,420</b>	<b>(4,030)</b>

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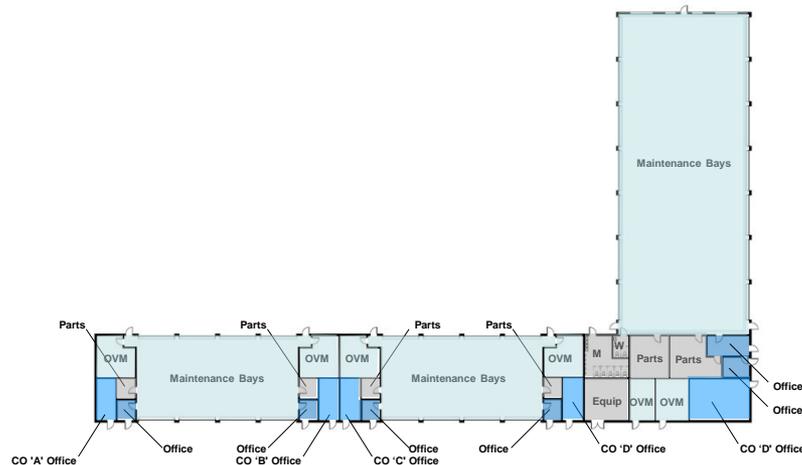


# Facility Reuse Analysis

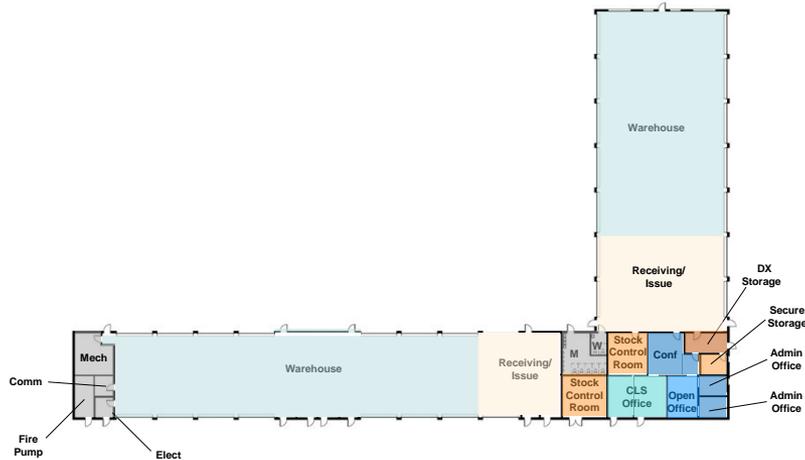
TEMF 1A: L-Shaped

Fort Hood, TX

## Planning Alternative B1 – Tier 1



TEMF 1A – Existing Floor Plan



Tactical SSA – Conceptual Floor Plan Tier 1

- Demolish existing Shop Offices, OVM, Parts Storage, and COM Offices to utilize for Warehousing. Utilize all Maintenance Bays for Receiving/Issue Areas and Warehousing.
- Remodel existing BN Offices to provide new Administrative Offices. Remodel existing Parts Storage as a new Conference Room.
- Remodel existing OVM and Parts Storage to provide a new Contractor Logistic Support (CLS) Office.
- Utilize existing as Secure (Lockable) and DX Storage Rooms.
- Utilize existing Parts Storage and Equipment Rooms as Stock Control Rooms.
- Convert existing COM Offices, Shop Office, Parts Storage and OVM to new Mechanical, Fire Pump, Electrical, and Communication Rooms.
- Utilize existing Men's and Women's Toilet Rooms.

ARMY STRONG





# Facility Reuse Analysis

TEMF 1A: L-Shaped

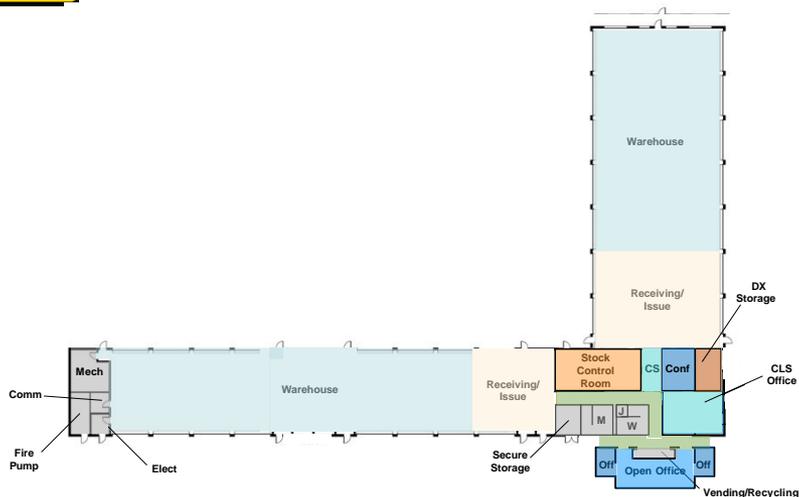
Fort Hood, TX

## Planning Alternative B1 – Tier 2

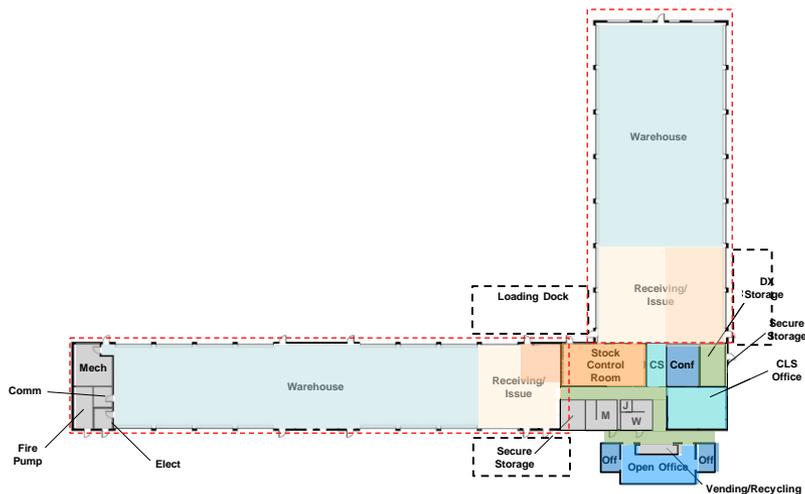
- Construct New Addition to house Administrative Offices, Open Office Area, and Vending/Recycling .
- Remodel existing offices to provide Contactor Logistic Support (CLS) Offices.
- Remodel Tier 1 Stock Control Room and CLS Office to provide new Men's and Women's Toilet Rooms, Janitor's Closet and Secure Storage.
- Remodel existing Men's and Women's Toilet Rooms and Tier 1 Stock Control Room to provide new, consolidated Stock Control Room .
- Remodel Tier 1 Conference Room and existing Secure and DX Storage Rooms to provide new Conference Room and DX Storage.

## Planning Alternative B1 – Tier 3

- Construct new Loading Docks with Apron Canopies and Dock Levelers.
- Fully renovate warehouse space to provide enhanced warehouse capabilities.



Tactical SSA – Conceptual Floor Plan Tier 2



Tactical SSA – Conceptual Floor Plan Tier 3

ARMY STRONG

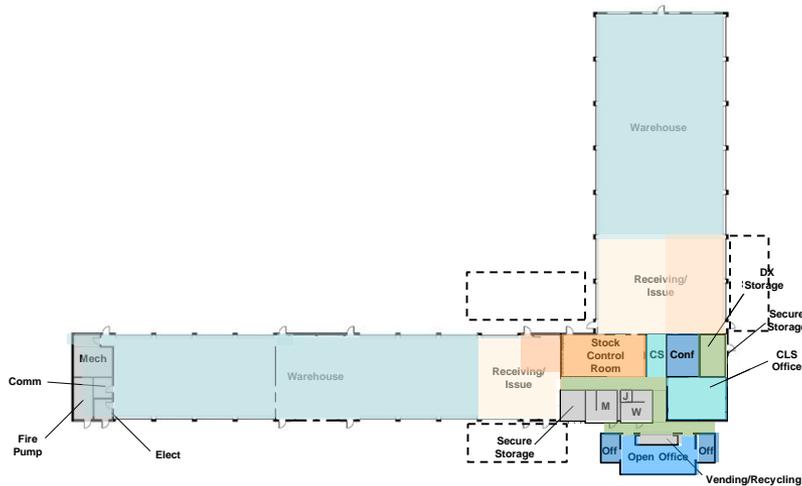


# Facility Reuse Analysis

TEMF 1A: L-Shaped

Fort Hood, TX

## Planning Alternative B1



### Tactical SSA – Conceptual Floor Plan

#### Legend:

- Circulation
- Warehouse
- Administration (Open Office Area)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Lockable) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mech, Fire Pump, Electrical, Communications, Vending/Recycling)

Description	Standard Net Area	Concept Net Area	Net Deficiency
<b>Administrative Operations</b>			
Administration	2,120	2,120	0
Contractor Logistic Support	730	600	(130)
<b>Subtotal:</b>	<b>2,850</b>	<b>2,720</b>	<b>(130)</b>
<b>Warehouse Operations</b>			
Receiving/Issue Areas	4,440	3,840	(600)
Warehouse Storage Areas	11,800	9,900	(1,900)
<b>Subtotal:</b>	<b>16,240</b>	<b>13,740</b>	<b>(2,500)</b>
<b>Building Service Areas</b>			
Public/Commons Areas	660	660	0
Building Support	640	600	(40)
<b>Subtotal:</b>	<b>1,300</b>	<b>1,260</b>	<b>(40)</b>
<b>Subtotal (Net Area):</b>	<b>20,390</b>	<b>17,720</b>	<b>(2,670)</b>
Circulation, Walls, Partitions:	3,060	2,660	(400)
<b>Total (Gross Area):</b>	<b>23,450</b>	<b>20,380</b>	<b>(3,070)</b>

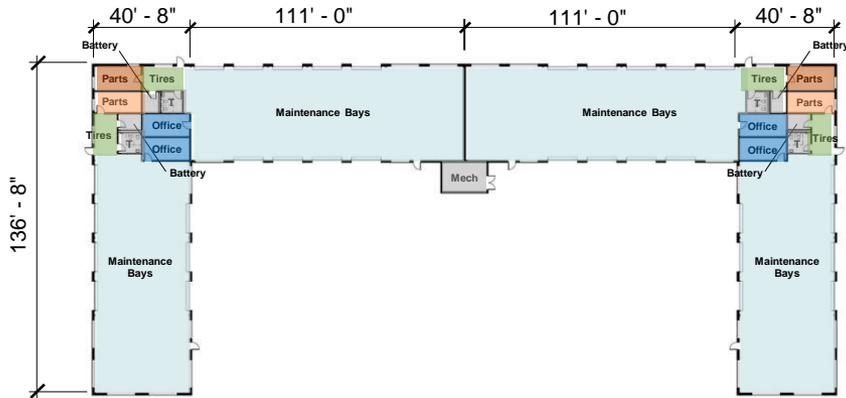
ARMY STRONG



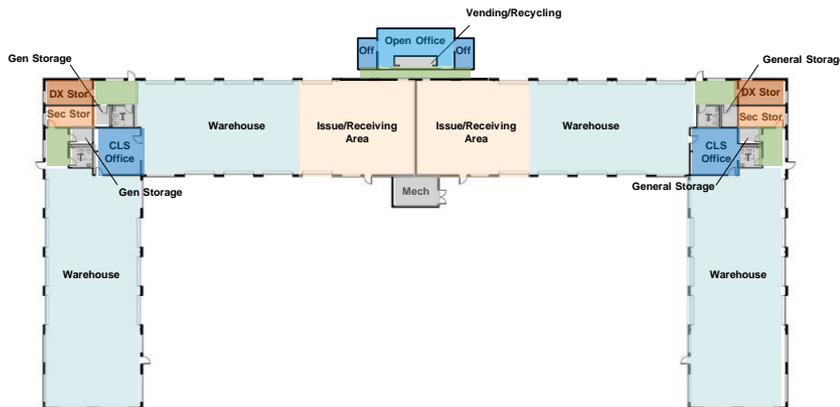
# Facility Reuse Analysis

TEMF 5: U-Shaped

Fort Bragg, NC



TEMF 5 – Existing Floor Plan



Tactical SSA – Conceptual Floor Plan Tier 1

## Planning Alternative C1 – Tier 1

- **Construct New Addition to house Administrative Offices, Open Office Area, and Vending/Recycling.**
- **Remodel existing offices to provide Contactor Logistic Support (CLS) Offices.**
- **Utilize existing Maintenance Bays for Issue/Receiving Areas and Warehousing.**
- **Convert Parts Storage Room to DX (Exchange) Storage and Secure (Lockable) Storage.**
- **Convert Battery Storage Room to General Storage. Tire Storage Areas to become circulation.**
- **Utilize existing Mechanical and Toilet Rooms.**



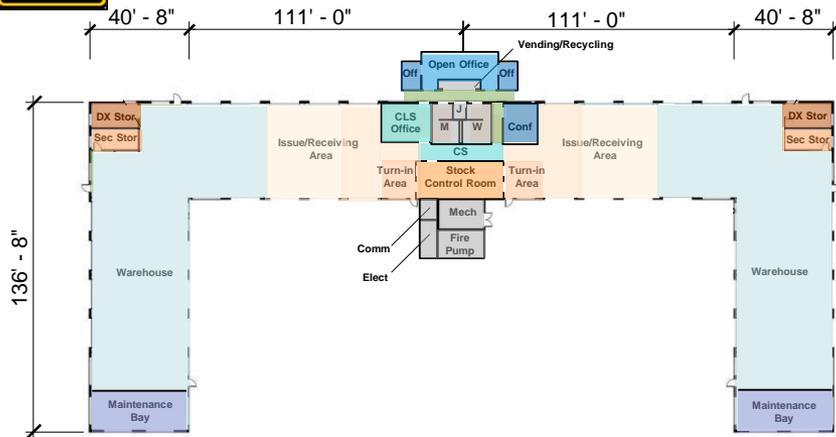


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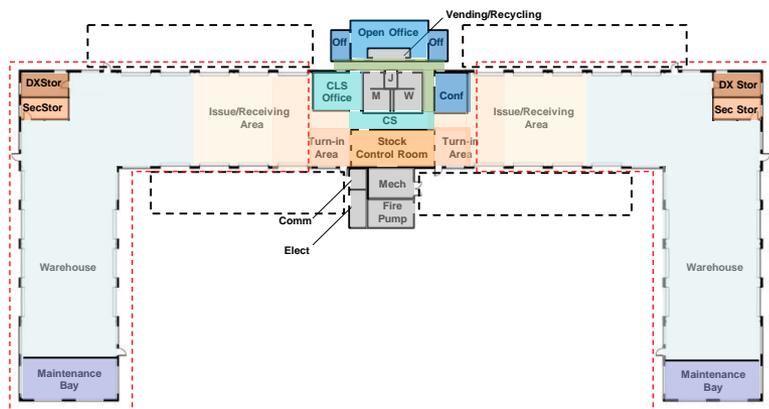
# Facility Reuse Analysis

TEMF 5: U-Shaped

Fort Bragg, NC



Tactical SSA – Conceptual Floor Plan Tier 2



Tactical SSA – Conceptual Floor Plan Tier 3

## Planning Alternative C1 – Tier 2

- Construct New Contractor Logistic Support (CLS) Offices, Conference Room, Men's and Women's Toilet Rooms and Janitor's Closet.
- Construct new Stock Control Room and Customer Service Area.
- Construct new Electrical, Fire Pump and Communication Rooms. Install new HVAC Unit in existing Mechanical Room.
- Demolish Tier 1 CLS Offices, Toilet Rooms and General Storage Rooms to utilize for Warehousing.
- Option: Maintain Vehicle Maintenance and/or Inspection Bays.

## Planning Alternative C1 – Tier 3

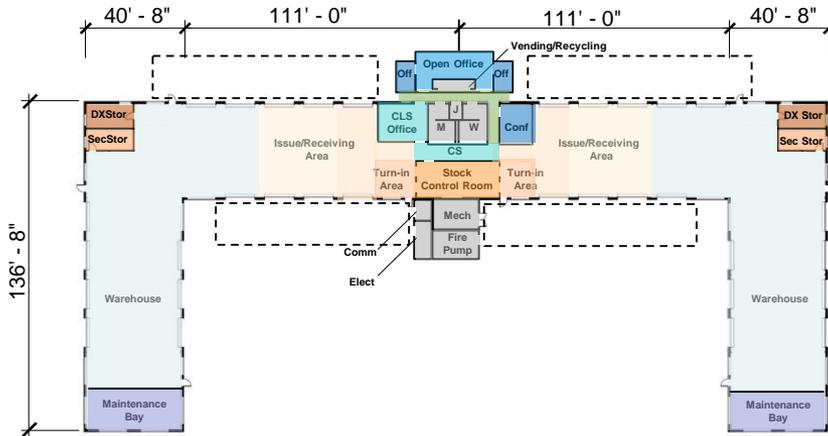
- Construct new Loading Docks with Apron Canopies and Dock Levelers.
- Fully renovate warehouse space to provide enhanced warehouse capabilities.



# Facility Reuse Analysis

TEMF 5: U-Shaped

Fort Bragg, NC



## Tactical SSA – Conceptual Floor Plan

### Legend:

- Circulation
- Warehouse
- Administration (Open Office Area)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Lockable) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mech, Fire Pump, Electrical, Communications, Vending/Recycling)

## Planning Alternative C1

Description	Standard Net Area	Concept Net Area	Net Deficiency
<b>Administrative Operations</b>			
Administration	2,120	2,120	0
Contractor Logistic Support	730	600	(130)
<b>Subtotal:</b>	<b>2,850</b>	<b>2,720</b>	<b>(130)</b>
<b>Warehouse Operations</b>			
Receiving/Issue Areas	4,440	4,000	(440)
Warehouse Storage Areas	11,800	11,250	(550)
<b>Subtotal:</b>	<b>16,240</b>	<b>15,250</b>	<b>(990)</b>
<b>Building Service Areas</b>			
Public/Commons Areas	660	660	0
Building Support	640	610	(30)
<b>Subtotal:</b>	<b>1,300</b>	<b>1,270</b>	<b>(30)</b>
<b>Subtotal (Net Area):</b>	<b>20,390</b>	<b>19,240</b>	<b>(1,150)</b>
Circulation, Walls, Partitions:	3,060	2,890	(170)
<b>Total (Gross Area):</b>	<b>23,450</b>	<b>22,130</b>	<b>(1,320)</b>

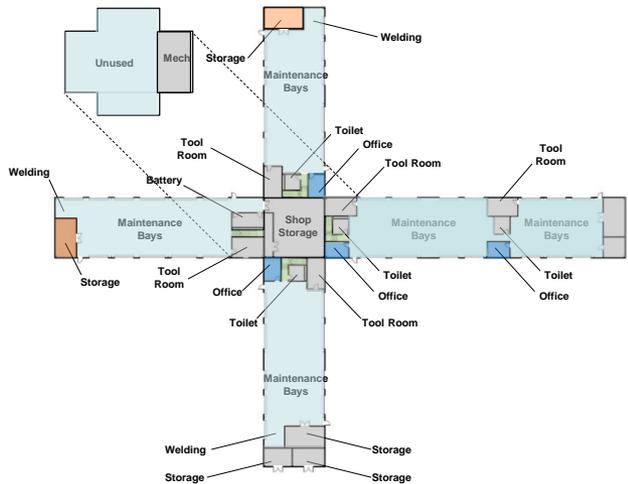
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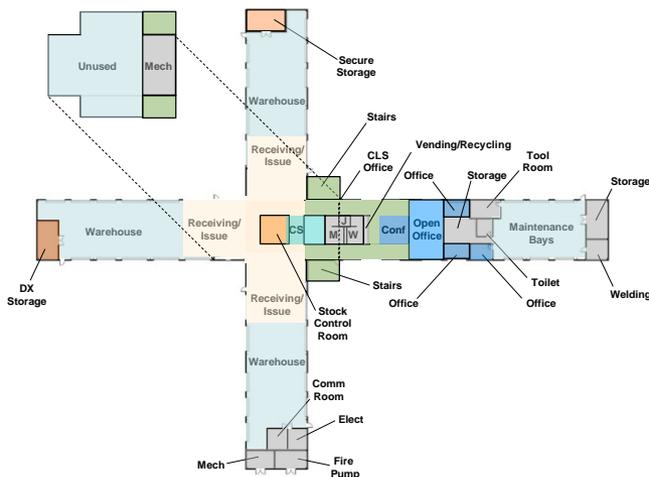
# Facility Reuse Analysis

TEMF 4: Cross-Shaped

Fort Bragg, NC



TEMF 4 – Existing Floor Plan



Tactical SSA – Conceptual Floor Plan Tier 1

## Planning Alternative D1 – Tier 1

- Construct new Stairs to access existing second Floor. Construct new Mechanical Room for new HVAC units.
- Demolish existing Shop Storage, Tool Rooms, Battery Storage and Toilet Rooms to provide new Receiving/Issue Areas and Stock Control Room. Utilize existing Maintenance Bays for Warehouse.
- Convert existing Storage Rooms to DX (Exchange) Storage and Secure (Lockable) Storage.
- Demolish existing Office, Tool Room and Toilet. Construct new Contractor Logistic Support (CLS) Offices, Men's and Women's Toilet Rooms. Vending/Recycling Area, and Administrative Offices.
- Convert existing Welding Area and Storage Rooms to new Mechanical, Fire Pump, Electrical, and Communication Rooms.
- Maintain existing Maintenance Bays, Office, Tool and Storage Rooms, Toilet and Welding Area.

ARMY STRONG





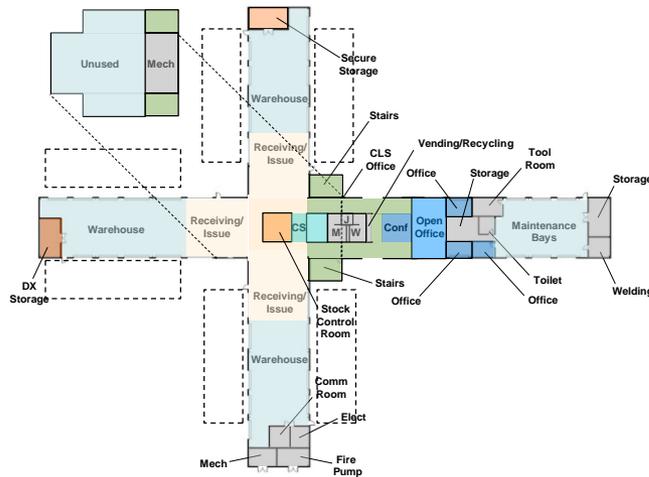
# Facility Reuse Analysis

TEMF 4: Cross-Shaped

Fort Bragg, NC

## Planning Alternative D1 – Tier 2

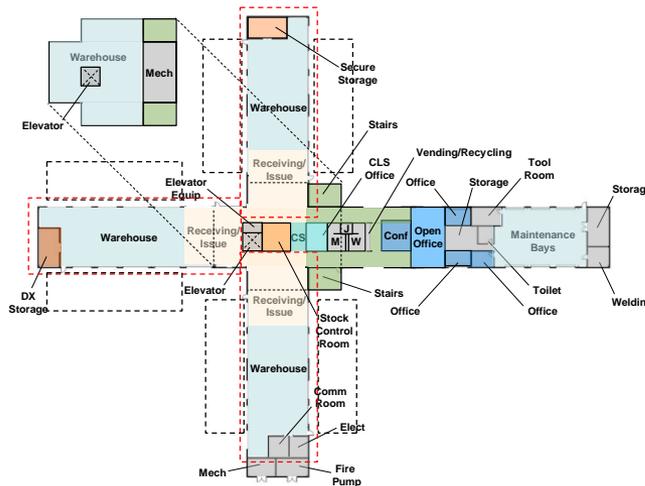
- Construct new Loading Docks with Apron Canopies and Dock Levelers.



## Tactical SSA – Conceptual Floor Plan Tier 2

## Planning Alternative D1 – Tier 3

- Fully renovate warehouse space to provide enhanced warehouse capabilities.
- Construct new Freight Elevator to provide access to existing, unused second floor to expand Warehouse capacity.



## Tactical SSA – Conceptual Floor Plan Tier 3

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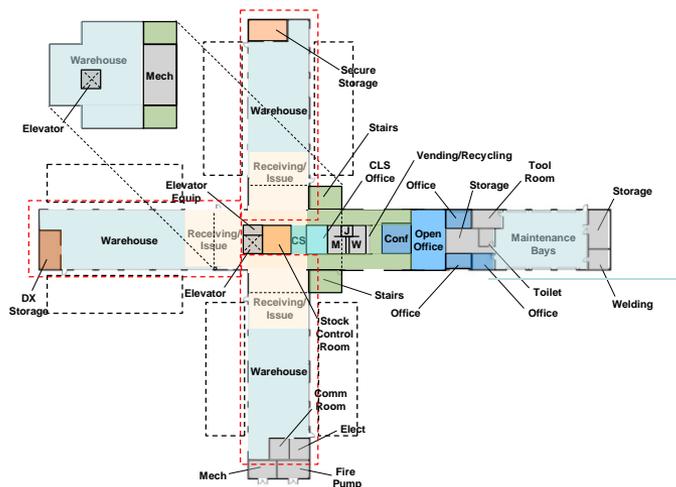




# Facility Reuse Analysis

TEMF 4: Cross-Shaped

Fort Bragg, NC



## Tactical SSA – Conceptual Floor

### Legend:

- Circulation
- Warehouse
- Administration (Open Office Area)
- Administrative Offices (2)
- Contractor Logistic Support (CLS) Offices
- Receiving/Issue Bay
- Customer Issue Bay
- Turn-in Bay
- Stock Control Room
- Secure (Lockable) Storage
- DX (Exchange) Storage
- Fork Lift Charging Stations
- Building Support (Men's/Women's Toilets, Janitor, Mech, Fire Pump, Electrical, Communications, Vending/Recycling)

## Planning Alternative D1

Description	Standard Net Area	Concept Net Area	Net Deficiency
<b>Administrative Operations</b>			
Administration	2,120	2,120	0
Contractor Logistic Support	730	600	(130)
<b>Subtotal:</b>	<b>2,850</b>	<b>2,720</b>	<b>(130)</b>
<b>Warehouse Operations</b>			
Receiving/Issue Areas	4,440	4,440	0
Warehouse Storage Areas	11,800	11,800	0
<b>Subtotal:</b>	<b>16,240</b>	<b>16,240</b>	<b>0</b>
<b>Building Service Areas</b>			
Public/Commons Areas	660	660	0
Building Support	640	890	250
<b>Subtotal:</b>	<b>1,300</b>	<b>1,550</b>	<b>250</b>
<b>Subtotal (Net Area):</b>	<b>20,390</b>	<b>20,510</b>	<b>120</b>
Circulation, Walls, Partitions:	3,060	4,110	1,050
<b>Total (Gross Area):</b>	<b>23,450</b>	<b>24,620</b>	<b>1,170</b>